

AFFORDABLE HOUSING DEVELOPMENT *for*

ST. NICHOLAS SCHOOL

atelierjones, llc
architecture | ecodesign | planning



03 April 2024

1501 10TH AVENUE EAST
SEATTLE, WA 98102

SITE VICINITY



SITE CONTEXT



LOW INCOME HOUSING ON A PROPERTY OWNED OR CONTROLLED BY A RELIGIOUS INSTITUTION | SMC 23.44.019.A-B

Max Height: 40' + 5' gable

FAR: 2.0

Front Setback: 20'

Side Setback: 10', 20' for facade length > 40'

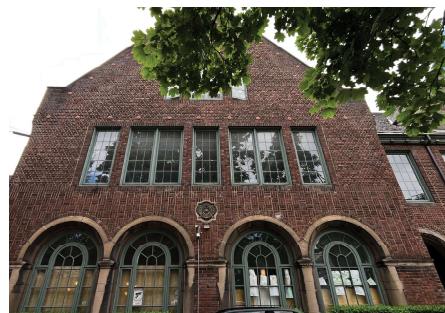
SITE PHOTOS



Above: South and East facades as visible from 10th Ave E, Bottom Left: view of Saint Mark's Cathedral adjacent to St. Nicholas School. Bottom Right: West facade of St. Nicholas School as visible from current play area.



HISTORICAL CONTEXT MAP



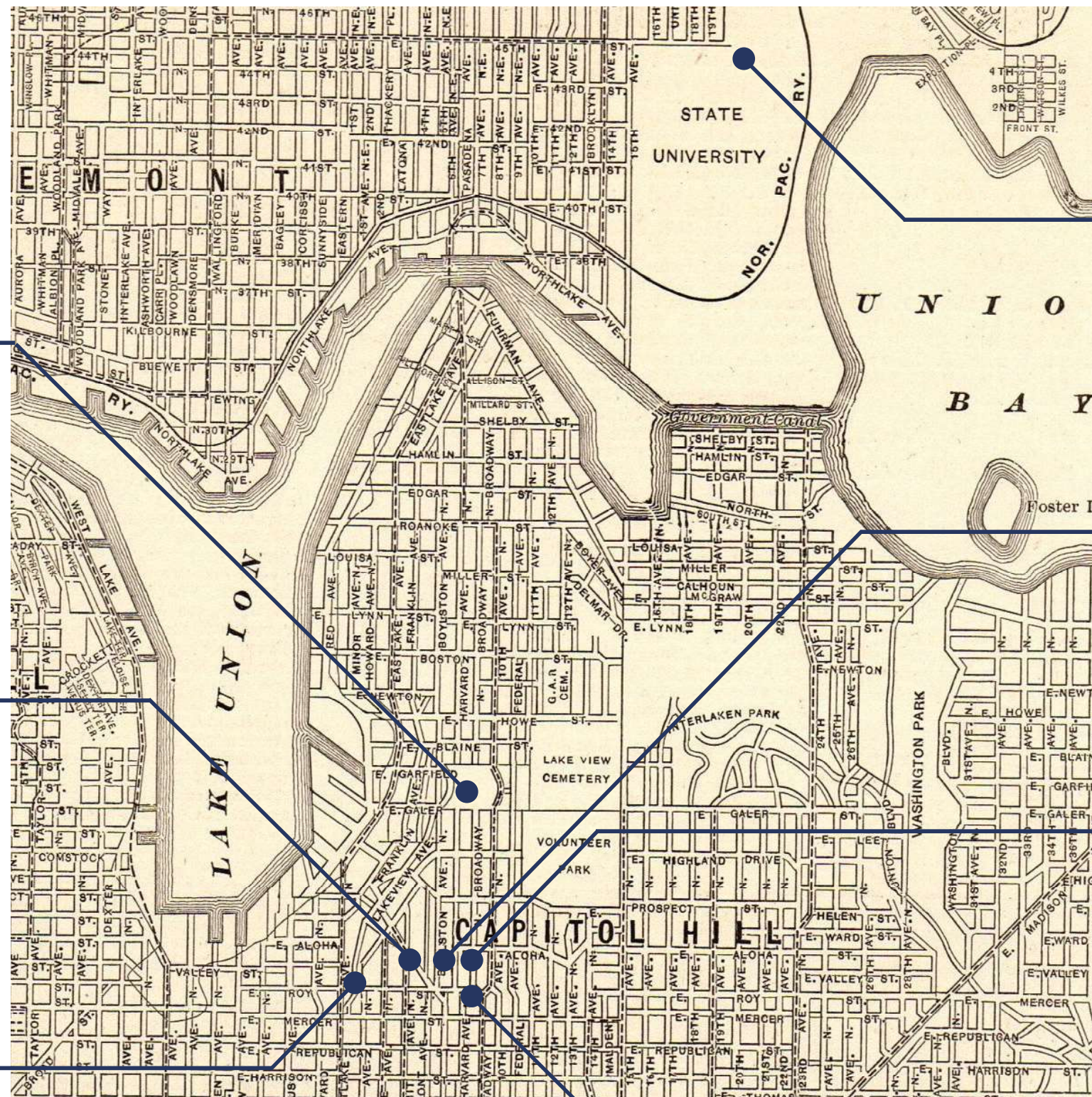
ST. NICHOLAS SCHOOL
BEBB AND GOULD, 1926



KERRY HALL AT CORNISH COLLEGE OF THE ARTS
ABRAHAM H. ALBERTSON, 1921



BELROY APARTMENTS
WILLIAM BAIN SR. 1930



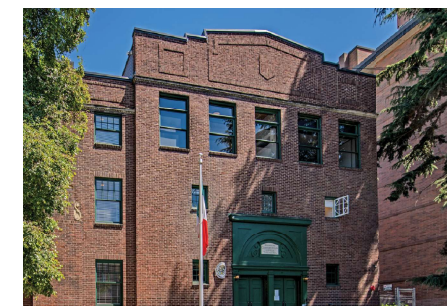
HANSEE HALL AT UW
BEBB AND GOULD, 1936



DAUGHTERS OF THE AMERICAN REVOLUTION - RAINIER CHAPTER HOUSE
JAMES SCHACK, 1925

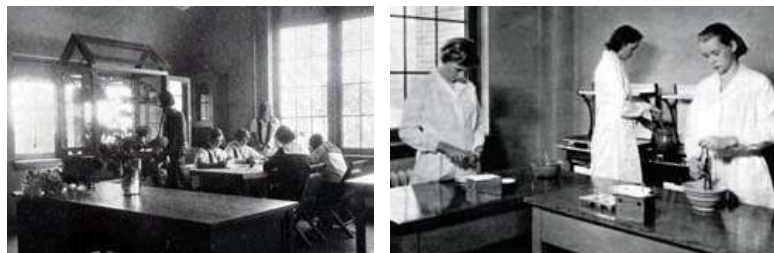
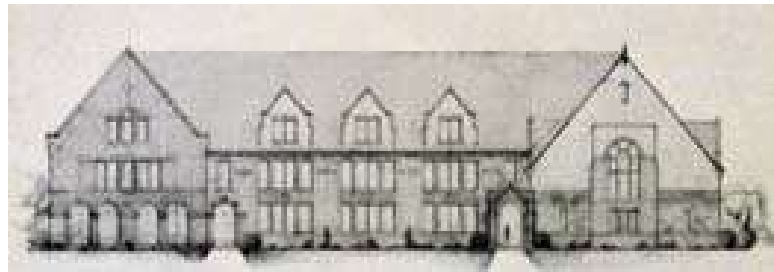


LOVELESS BUILDING
ARTHUR L. LOVELESS, 1930



WOMEN'S CENTURY CLUB
PIERCE A. HORROCKS, 1925

PROJECT HISTORY



ST. NICHOLAS SCHOOL, BEBB AND GOULD, (EST. 1910) BUILT 1926

Named for the patron Saint of Children, the St. Nicholas School was the first of several strongly female-centric institutions that would eventually define the surrounding neighborhood. Prominent women in Seattle supported the school to prepare well-rounded female students for further education, the professional world, and volunteer work to give back to the community.

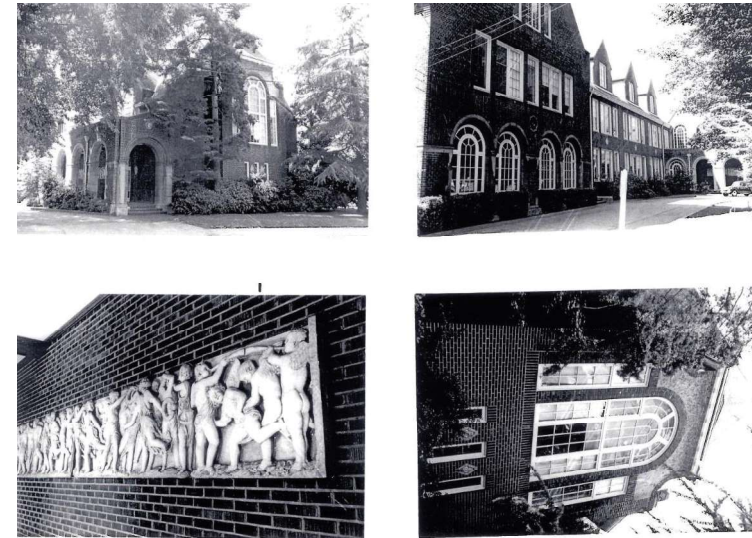
After the founding directors, the Buddecke Sisters left in 1917 the School was sold to a group of business men and incorporated. The Trustee's favored a policy of expansion and purchased the site on 10th Ave E. in 1925 for \$32,000. By March 1926 the \$125,000 school was completed and opened.



ST. NICHOLAS SCHOOL, EXPANSION (1950's & 1960's)

The School was first expanded with a 3,500 SF single story addition in 1954. This was followed shortly by a 2nd story addition in 1960.

A series of interior alterations occurred through the 1960's until the 1971 merger with Lakeside School.



LANDMARK DESIGNATION (1981)

**addition not included*

"The feature and / or characteristics to be preserved include the entire exterior of the 1926 building and the entire site."

Designation was approved based on the association in a significant way with a significant aspect of cultural, political, or economic heritage of the community, city, state, or nation;

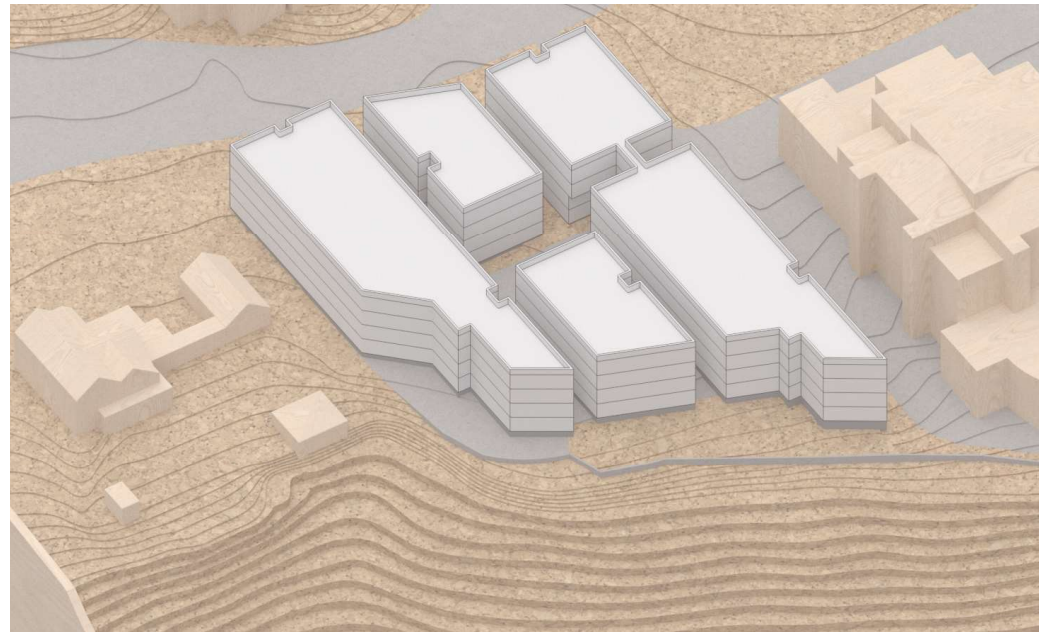
By contrast to the many church-affiliated and non-sectarian private schools that came and went in Seattle's early years, St. Nicholas lasted for 61 years before its merger with Lakeside in 1971.



ACQUIRED BY SAINT MARK'S PROPERTIES, LLC (2003)

In its continued use by various private schools and ongoing functions related to Saint Mark's Cathedral, the building has served the community through education, local events, and acts of service since its inception.

CAPACITY STUDIES



OPTION 1
MAXIMUM CAPACITY

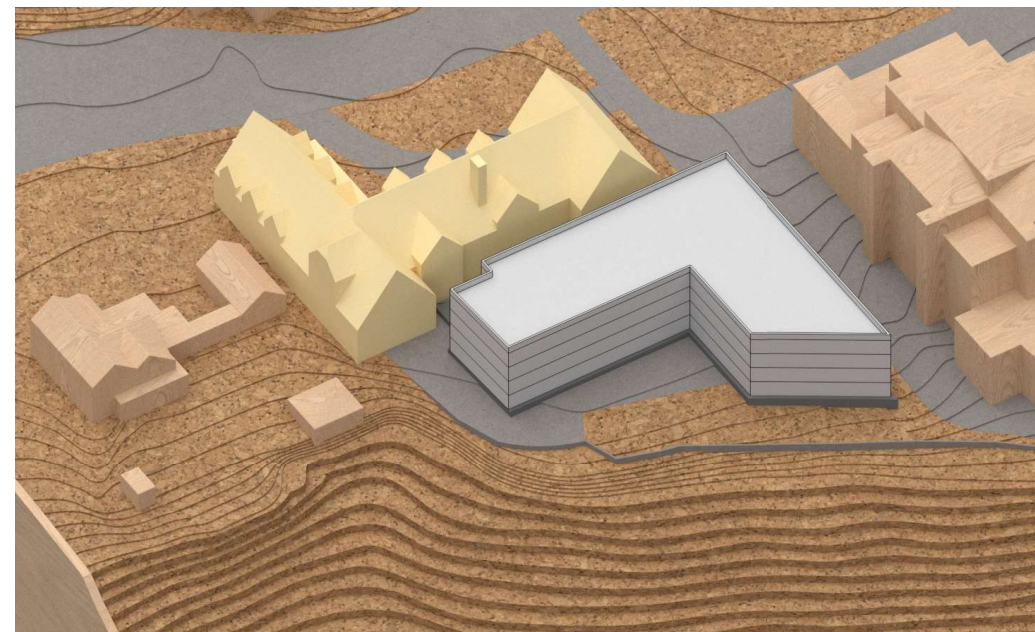
Type III-B
Height: **40'**

- two simple bars + two point access buildings
- central courtyard and broken up massing for "village" feel
- partial underground parking with centralized systems for maximum efficiency

	STUDIO	ONE	TWO	THREE	
UNIT COUNT	12	70	26	26	134
	9%	51%	20%	20%	

PARKING COUNT	40	0.30
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ABOVE GROUND	111,543 SF
BELOW GRADE PARKING	36,202 SF
TOTAL GSF	131,331 SF



OPTION 2
ST. NICHOLAS ADAPTIVE RE-USE + NEW BUILD

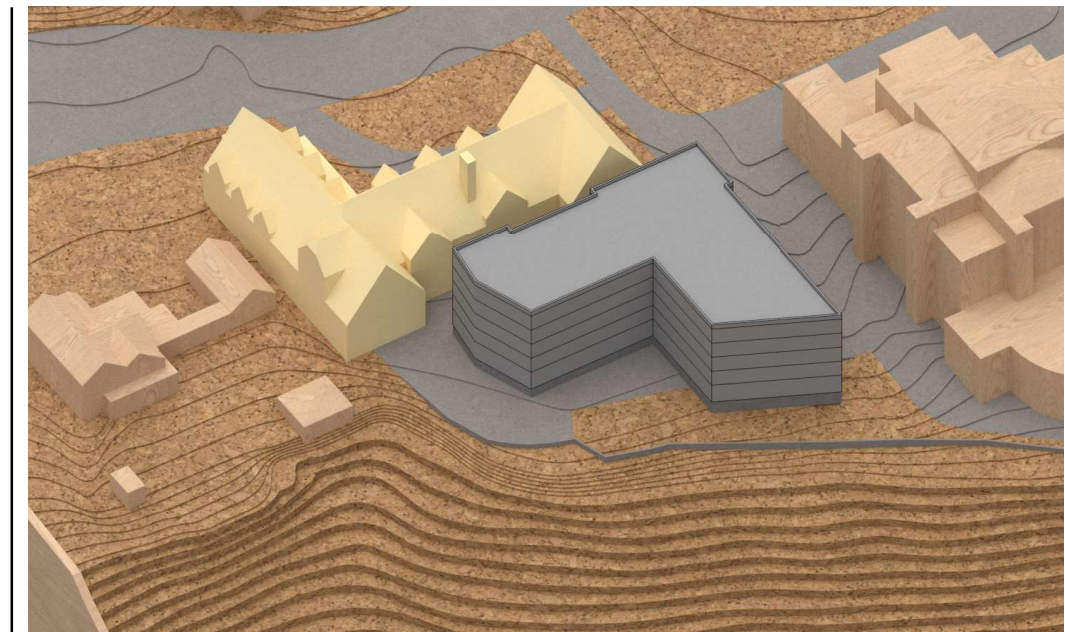
Type V-B / III-B
Height: **40'**

- The existing footprint of St. Nicholas School is closer to both the lot line and slope setbacks than new construction would allow.
- The existing building is 15' taller than current zoning would allow.
- The new building is connected by an open air arcade at the primary entry and by a below-grade mechanical tunnel to the proposed new parking garage.

	STUDIO	ONE	TWO	THREE	
UNIT COUNT	8	56	30	10	104
	8%	54%	29%	10%	

PARKING COUNT	34	0.34
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NEW GSF	46,967 SF
ADAPTIVE REUSE GSF	38,988 SF
ADDITION GSF	11,460 SF
BELOW GRADE PARKING	13,400 SF
TOTAL GSF	110,418 SF



OPTION 2B - PREFERRED
ST. NICHOLAS ADAPTIVE RE-USE + ADDITION

Type III-B / V-B
Height: **55'**

- Per SMC 23.42.118, landmark structures may be expanded even if the expansion increases the extent of nonconformity, when the Landmarks Board determines that there is no feasible alternative that meets the development standards of the zone while preserving the integrity of the landmark structure.

	STUDIO	ONE	TWO	THREE	
UNIT COUNT	8	64	36	11	119
	7%	54%	30%	11%	

PARKING COUNT	34	0.29
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NEW GSF	58,849 SF
ADAPTIVE REUSE GSF	38,988 SF
ADDITION GSF	11,460 SF
BELOW GRADE PARKING	13,400 SF
TOTAL GSF	122,300 SF

SITE CONTEXT

PRESERVING EXISTING TREES

Dozens of mature trees exist within the build-able portion of the site. An Arborist's Report completed on 11th March 2024 notes 25 Tier 2-4 trees in varying states of health. Preserving the largest healthy significant trees along the street and the front facing east facade and along the critical slope edge are prioritized.

STEEP SLOPE BUFFER AREA AND SLOPE REMEDIATION SETBACKS

The Property navigates an elevation change of nearly 200' from east to west. The western half of the site drops off steeply and encompasses a large conservation area. Development is therefore limited to the east, near the existing St. Nicholas School.

While the underlying soil has excellent bearing capacity, the height of the slope necessitates remediation within 70' of the slope edge. Depending on the distance of the buildings from the slope edge, preserving the St. Nicholas School building and constructing the addition will require 20' to 50' deep retention below the foundation level. Most significantly, the northwest corner of the existing St. Nicholas School sits within 15' of the slope boundary and requires the deepest retention structures to protect the building.



EXISTING SITE AREA: 109,770 SF
NEW AREA: 9,293 SF

DRIVEWAY EASEMENT SITE ACCESS

An existing driveway easement with Saint Mark's Cathedral (vacation of E Galer Street) provides the only vehicle access to the rear of the site.

LOT BOUNDARY ADJUSTMENT

While zoning allows a 10' setback, the maximum combined facade length creates a 20' practical side setback. Due to these constraints, a Lot Boundary Adjustment relocating the south property line 27' to the south allows for construction of the addition while maintaining adherence to the zoning constraints for both properties.



ADAPTIVE RE-USE

ST. NICHOLAS ADAPTIVE REUSE

Type III-B / V-B
Height: 55'

- Per SMC 23.42.118, landmark structures may be expanded even if the expansion increases the extent of nonconformity, when the Landmarks Board determines that there is no feasible alternative that meets the development standards of the zone while preserving the integrity of the landmark structure.

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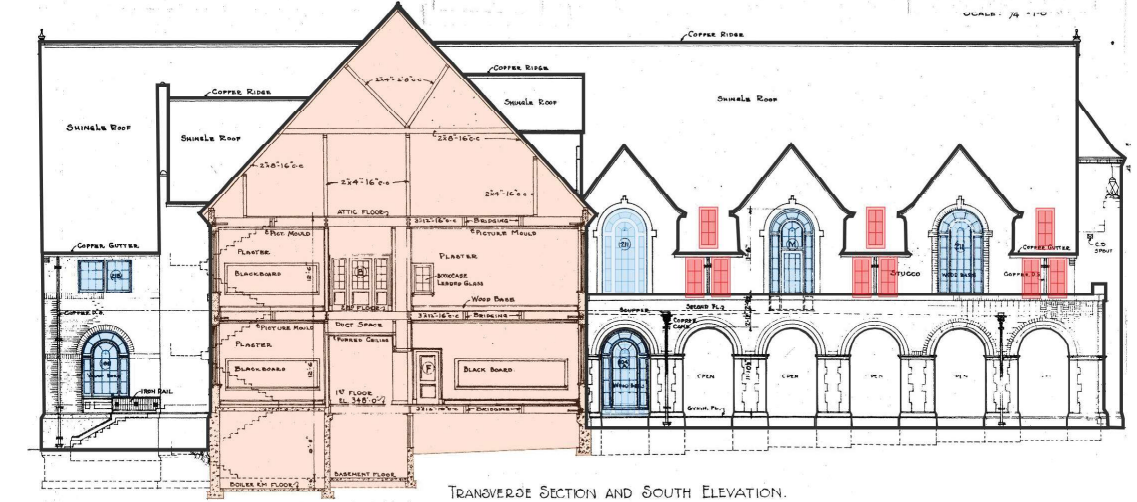
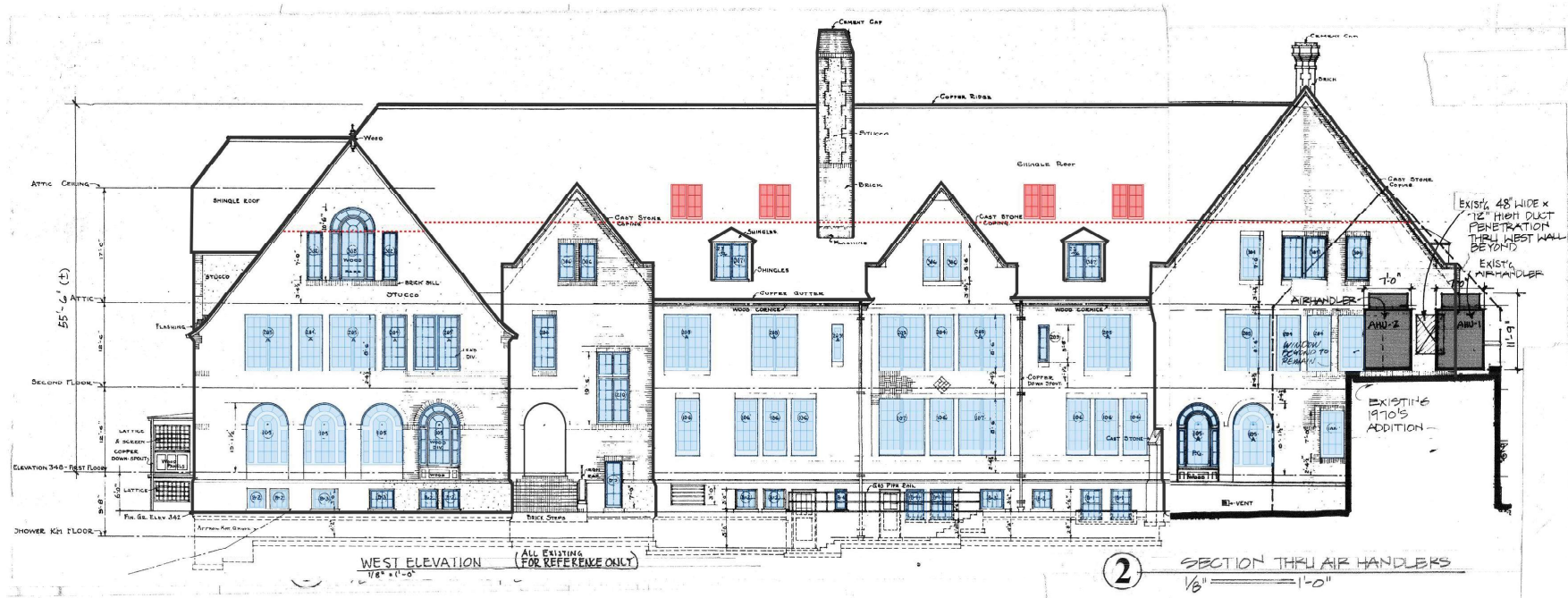
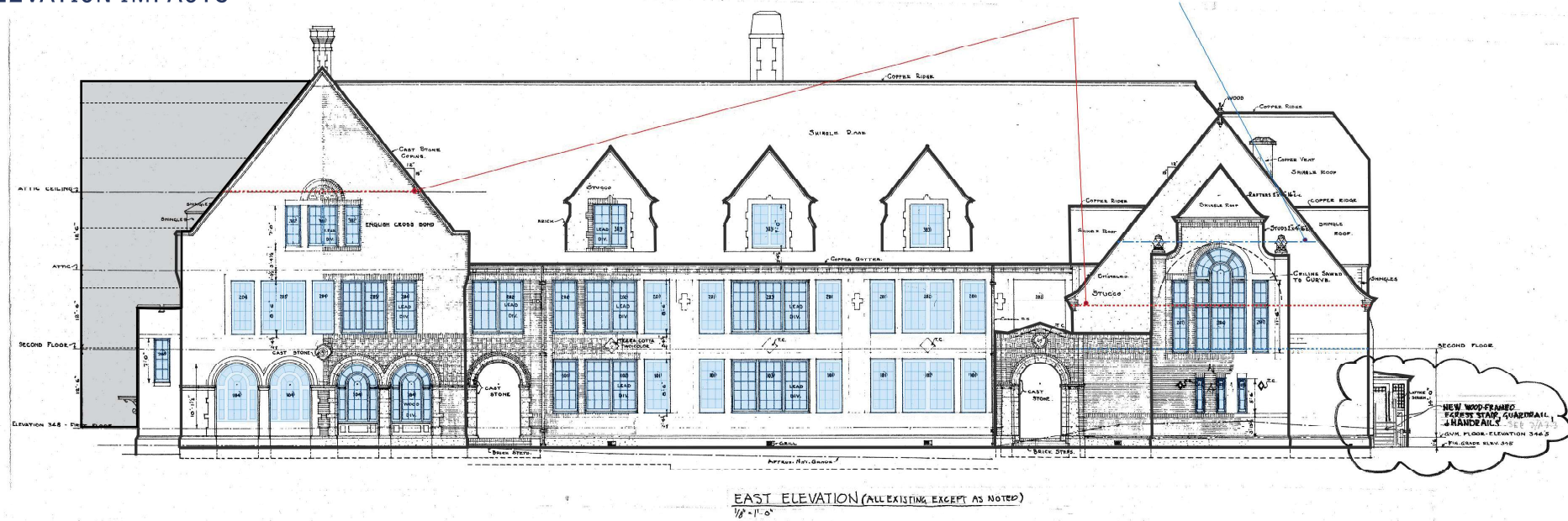


AXONOMETRIC



LEVEL ONE

ADAPTIVE RE-USE ELEVATION IMPACTS



- EXISTING WINDOWS TO BE PRESERVED OR RESTORED
- PROPOSED NEW WINDOWS OR SKYLIGHTS
- VISIBILITY OF PROPOSED ADDITION

- preserved primary street facing east facade
- restored south facade following removal of mid-century addition
- proposed restoration of dormers removed in previous renovation
- proposed new windows and skylights in least-visible north facade and south facade of Skinner Auditorium
- new interior floor levels within Skinner Auditorium and 4th floor attic

DESIGN CONCEPT: MASSING



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DESIGN CONCEPT: MASSING



10TH AVE E.

E GALER ST